

2.1 - FRONT SHINGLE ALT

542 SAGG MAIN STREET, SAGAPONACK, NY 11962

DATE: 4/25/22



SAGAPONACK GENERAL STORE **AND** **POST OFFICE** **RESTORATION** **APRIL 2022**









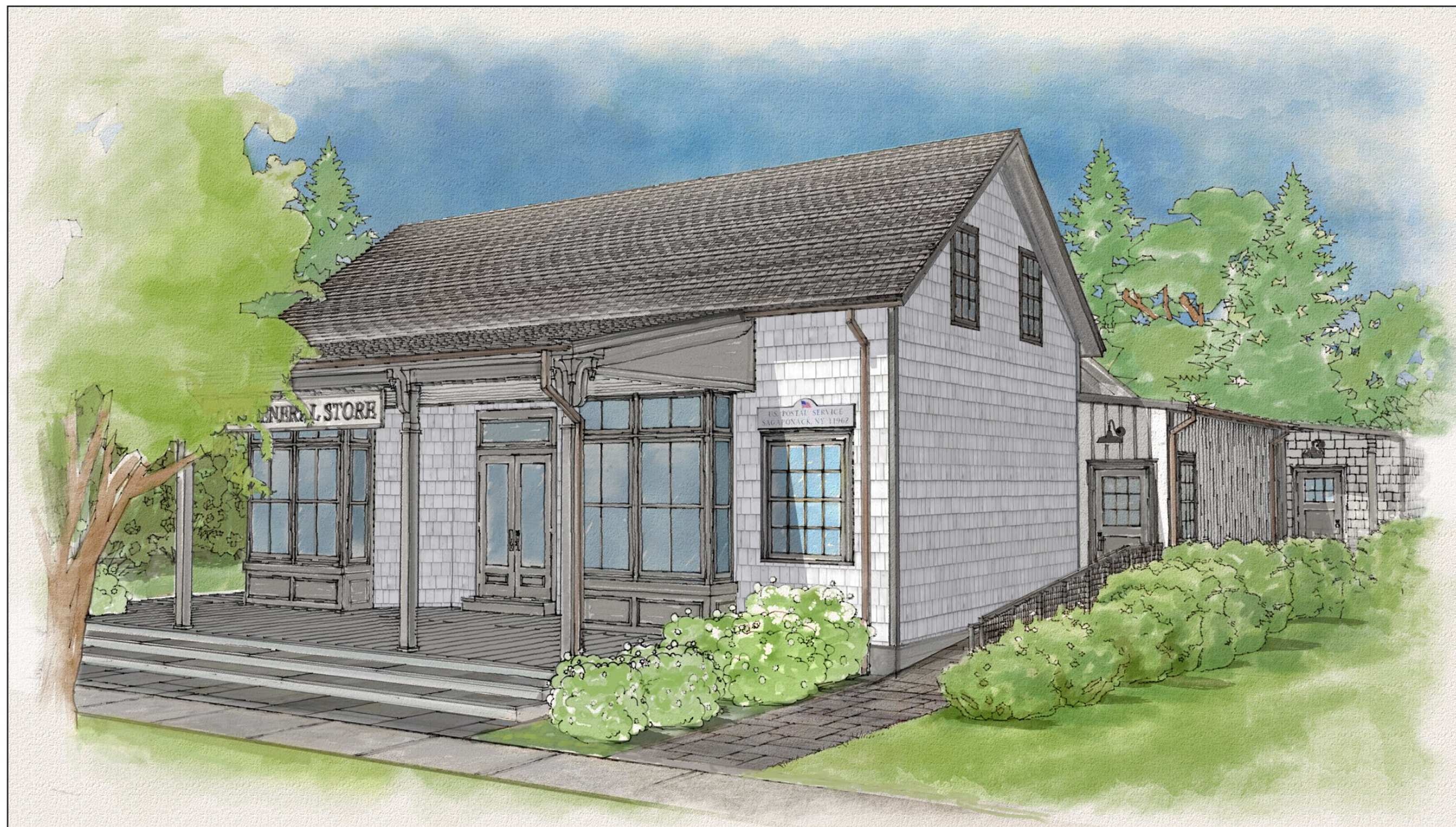
Store Owners.

Thaddeus S. Edwards
Built & operated first store
in Sagsaponack about 1878
Sold to C.C. Cartwright to
Loper & Chamberlin to
Chas. A. Hildreth & Thos. H. Hildreth
to Thos. H. Hildreth to
Thos. H. Hildreth & W. Leland Hildreth
to W. Leland Hildreth & Merrill T. H.
to Merrill T. Hildreth



Photo: Pingree W. Louchheim, courtesy of Bridgehampton Historical Society

Harvesting one of the Ludlow potato fields, 1980s



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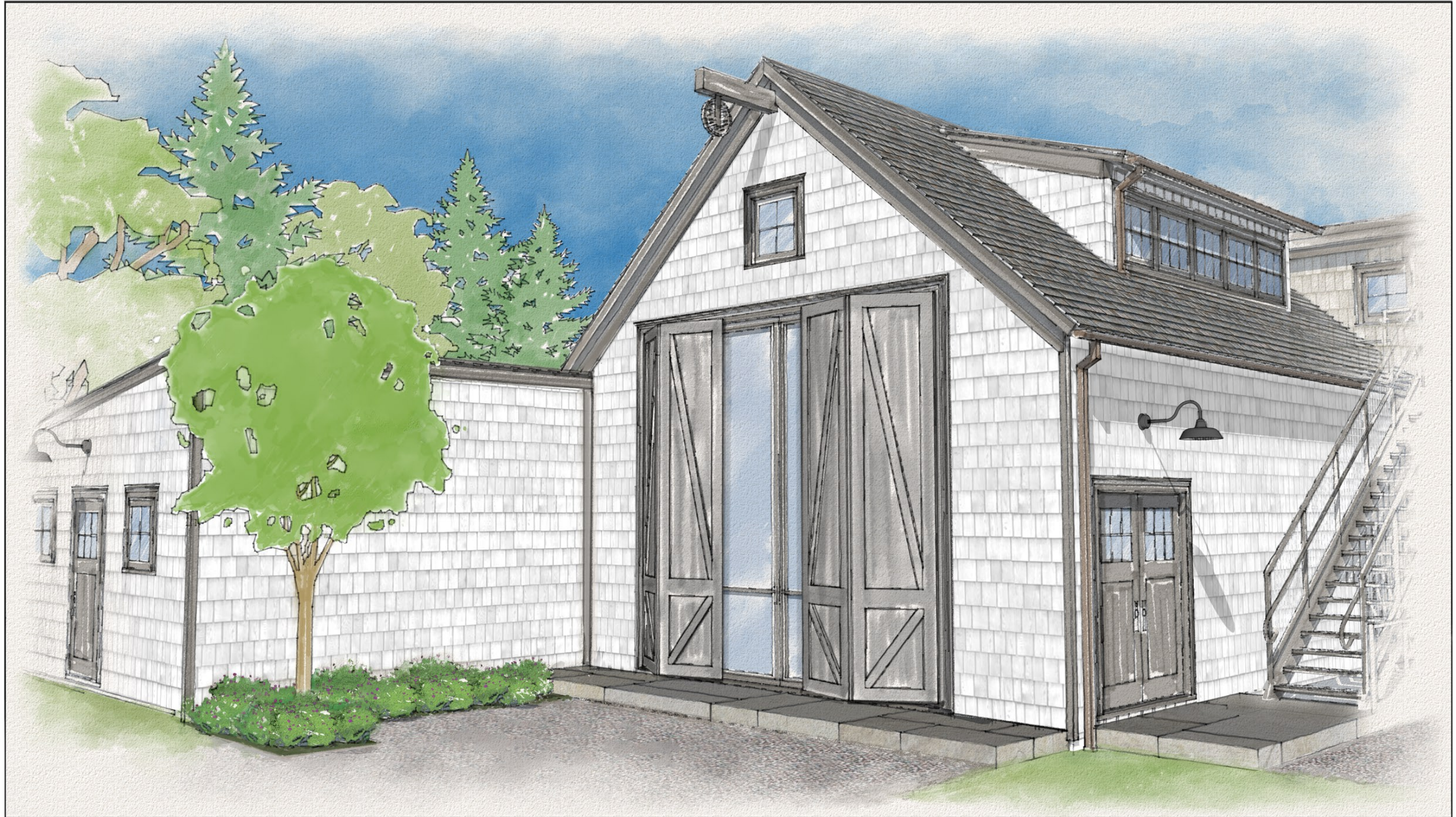


VERSION 2.1 - BACK

542 SAGG MAIN STREET, SAGAPONACK, NY 11962

DATE: 4/25/22





VERSION 1.1 BACK SHUTTER ALT

542 SAGG MAIN STREET, SAGAPONACK, NY 11962

DATE: 4/13/22



Sagaponack General Store and Post Office

Mission Statement and Narrative

(original Aug 4, 2021)
Revised Dec 13, 2021

MISSION STATEMENT

The Sagaponack General Store has defined this special village for close to 150 years. Our great hope is to restore it to its historic roots and create a place that all members of the community cherish. It should be a centerpiece for locally grown fruits and vegetables and locally sourced beverages and provisions —a place for people to come together as they go about their day. The post office is central to this vision as it is a valued, beloved resource. One need look no further than its bronze postal boxes to understand the depth its ties to Sagaponack. We will spotlight this connection and upgrade the facilities to reflect its importance.

GENERAL STORE

The Sagaponack General store was built in 1878 and, from the start, housed a post office which helped to mark it as the true center of the community. Visitors who come today should feel transported back in time to the 1870’s with the floor boards, quite literally, creaking beneath them. Ideally, the exterior will return the building to its original design with large, paned windows flanking a centered door and edge-to-edge stairs leading to an entrance porch. A metal boot cleaner and hitching rail will create the feeling that you arrived by horse on a dirt road. Display cases and decor should look original and of the period—a mix of wood, brass, copper, weathered counters, metal scales, woven baskets, barrels. Everything should be open and inviting. Even the refrigerated areas should look original-wooden and glass doors with large metal handles. Sunlight should stream from numerous windows that wrap the space in light with the brightest light at the back emanating from a large floor to ceiling window or oversized barn door on a track that can open and close, weather permitting, and if feasible. Ideally, the space will be reconfigured to be one large room housing the post office to the north with doors that can close off the postal facility as needed. The pull of the space should be to the back where the large windows will reveal the farm fields to the south and mismatched tables and chairs surrounded by an herb and flower garden. The rest of the space should be designed as distinct areas which are malleable to transform with the season and as we better understand what is most popular. We imagine the build out relying heavily on salvaged items taken from disassembled stores of the period -curved counters, wooden display islands, floor-to-ceiling, neatly ordered shelves-all mixed with careful reproductions that replicate an older patina of wear. We will seek to source old hardware and old bins.

542 Sagg Main Street

Additions and Alterations

Sagaponack, New York 11962

FRANK GREENWALD ARCHITECT

295 Main Street Sag Harbor, New York 11963
www.frankgreenwaldarchitect.com

TEL: 631-329-1567

DRAWING LIST

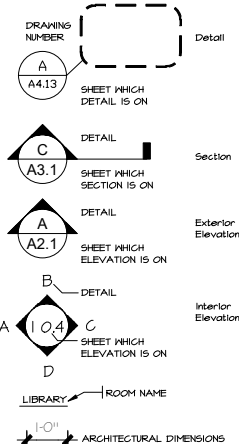
ISSUED	REVISED	SHT	DESCRIPTION
<u>Architectural General</u>			
03/28/2022	04/25/2022	<u>CVR</u> CVR	Cover Sheet and Drawing List
<u>Existing Conditions</u>			
03/28/2022		<u>EX</u> EX 1.0 EX 1.1 EX 1.2 EX 1.3 EX 2.0 EX 2.1	Existing Basement Plan Existing Ground Floor Plan Existing Attic Plan Existing Roof Plan Existing Exterior Elevations - North & East Existing Exterior Elevations - South & West
<u>Site Plans</u>			
03/28/2022	04/25/2022	<u>SI</u> ES 0.1 PS 0.1	Existing Site Plan Proposed Site Plan
<u>Architectural Floor Plans</u>			
03/28/2022	04/25/2022 04/25/2022 04/25/2022	<u>A1</u> A 1.0 A 1.1 A 1.2 A 1.3	Proposed Basement Plan Proposed Ground Floor Plan Proposed Attic Plan Proposed Roof Plan
<u>Architectural Exterior Elevations</u>			
03/28/2022	04/25/2022 04/25/2022	<u>A2</u> A 2.0 A 2.1	Proposed Exterior Elevations - North & East Proposed Exterior Elevations - South & West
<u>Architectural Building Sections</u>			
03/28/2022	04/25/2022	<u>A3</u> A 3.0	Longitudinal Building Section

BUILDING GROSS AREA CALCULATIONS	
<u>EXISTING GROUND FLOOR</u>	
U.S. POST OFFICE =	732 SF
SAGG GENERAL STORE =	1,712 SF
TOTAL EXISTING GROUND FLR:	2,444 SF
<u>EXISTING BASEMENT</u>	
SAGG GENERAL STORE =	2,414 SF
TOTAL EXISTING BASEMENT:	2,414 SF
<u>EXISTING ATTIC</u>	
STORAGE/MECHANICAL =	1,016 SF
TOTAL EXISTING ATTIC:	1,016 SF
TOTAL EXISTING CONSTRUCTION =	5,874 SF
<u>PROPOSED GROUND FLOOR</u>	
U.S. POST OFFICE =	670 SF
SAGG GENERAL STORE =	1,523 SF
COMMON AREA / ADA =	400 SF
TOTAL PROPOSED GROUND FLR:	2,593 SF
<u>PROPOSED BASEMENT</u>	
U.S. POST OFFICE =	327 SF
SAGG GENERAL STORE =	1,861 SF
COMMON AREA / ADA =	390 SF
TOTAL PROPOSED BASEMENT:	2,578 SF
<u>PROPOSED ATTIC</u>	
COMMON STORAGE/MECHANICAL =	1,225 SF
TOTAL PROPOSED ATTIC:	1,225 SF
TOTAL PROPOSED CONSTRUCTION =	6,396 SF

ABBREVIATIONS

A/C AIR-CONDITIONING UNIT
AFF ABOVE FINISHED FLOOR
O/C ON CENTER
CL6 CEILING
CL CLOSET
GLOS CLOSET
CONC CONCRETE
GT CERAMIC TILE
EQ EQUAL
EXIST EXISTING
FREEZ FREEZER
GWB GYPSUM WALL BOARD
VESTL VESTIBULE
LAV LAVATORY
NIC NOT IN CONTRACT
MAT MATERIAL
MAX MAXIMUM
MIN MINIMUM
POWDR POWDER ROOM
PLYND PLYWOOD
QT QUARRY TILE
REF REFRIGERATOR
T/O TRIMMED OPENING
TOP OF
D/O DISHWASHER
D CLOTHES DRYER
W CLOTHES WASHER
S SINK
MICRO MICROWAVE
FLR FLOOR
EL ELEVATION
W WITH
DN DOWN
φ DIAMETER
(TYP) CENTER LINE
TYPICAL
AT AT
V.I.F. VERIFY IN FIELD
FIN. FINISH or FINISHED
AD. ABOVE
ASF ABOVE SUBFLOOR

SYMBOL LEGEND



542 Sagg Main Street
Alterations
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Title

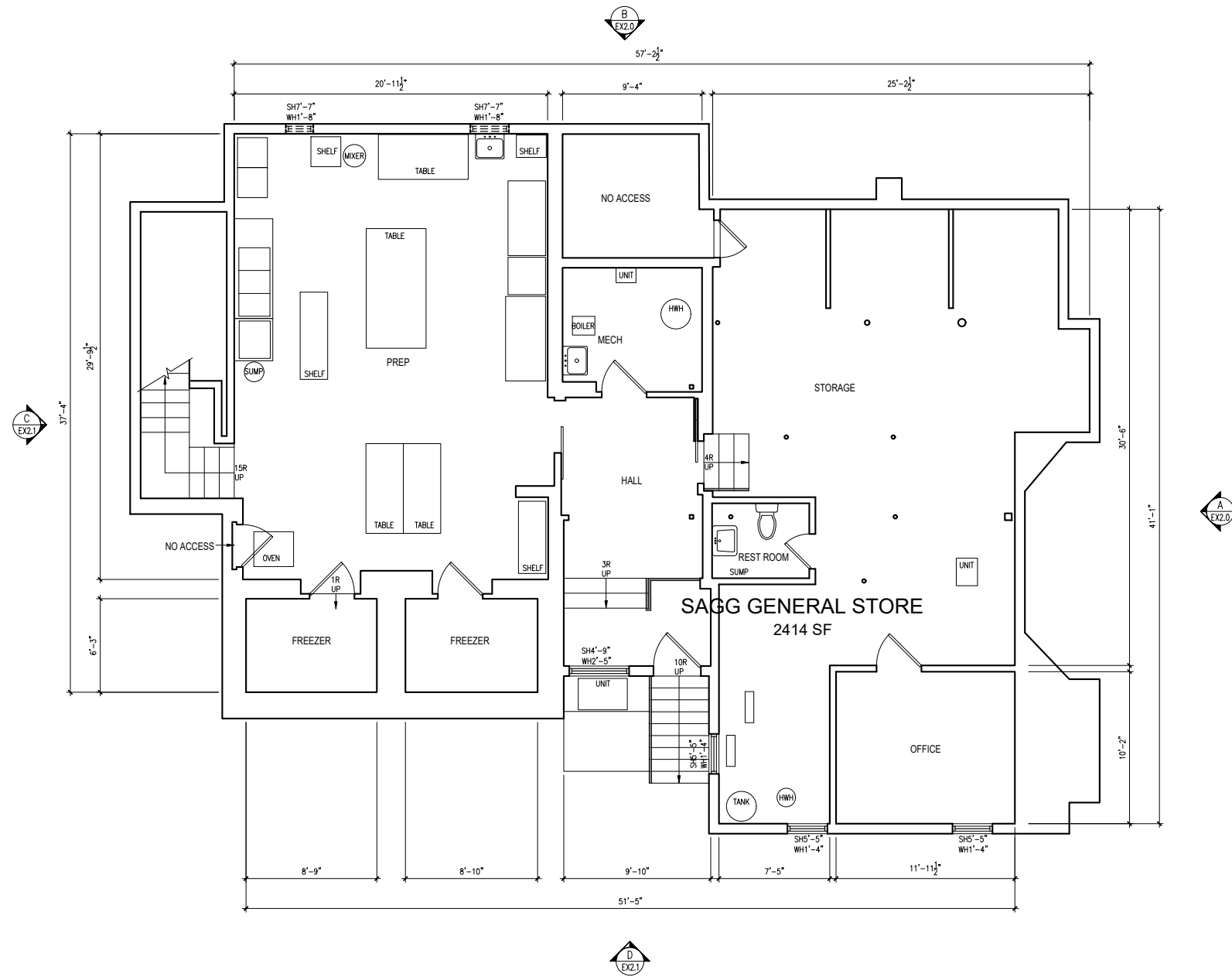
COVER SHEET

Date	03/28/2022	
Scale	AS NOTED	
<u>R E V I S I O N S</u>		
No.	Date	Description
1	4-25-2022	Clarifications / Revisions

Dwg. No.

CVR

DESIGN SET



A EXISTING BASEMENT PLAN
SCALE 1/4" = 1'-0"



SAGAPONACK MAIN STREET



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Title
EXISTING
BASEMENT
PLAN

Date 03/28/2022

Scale AS NOTED

REVISIONS

No.	Date	Description

Dwg. No.

EX1.0

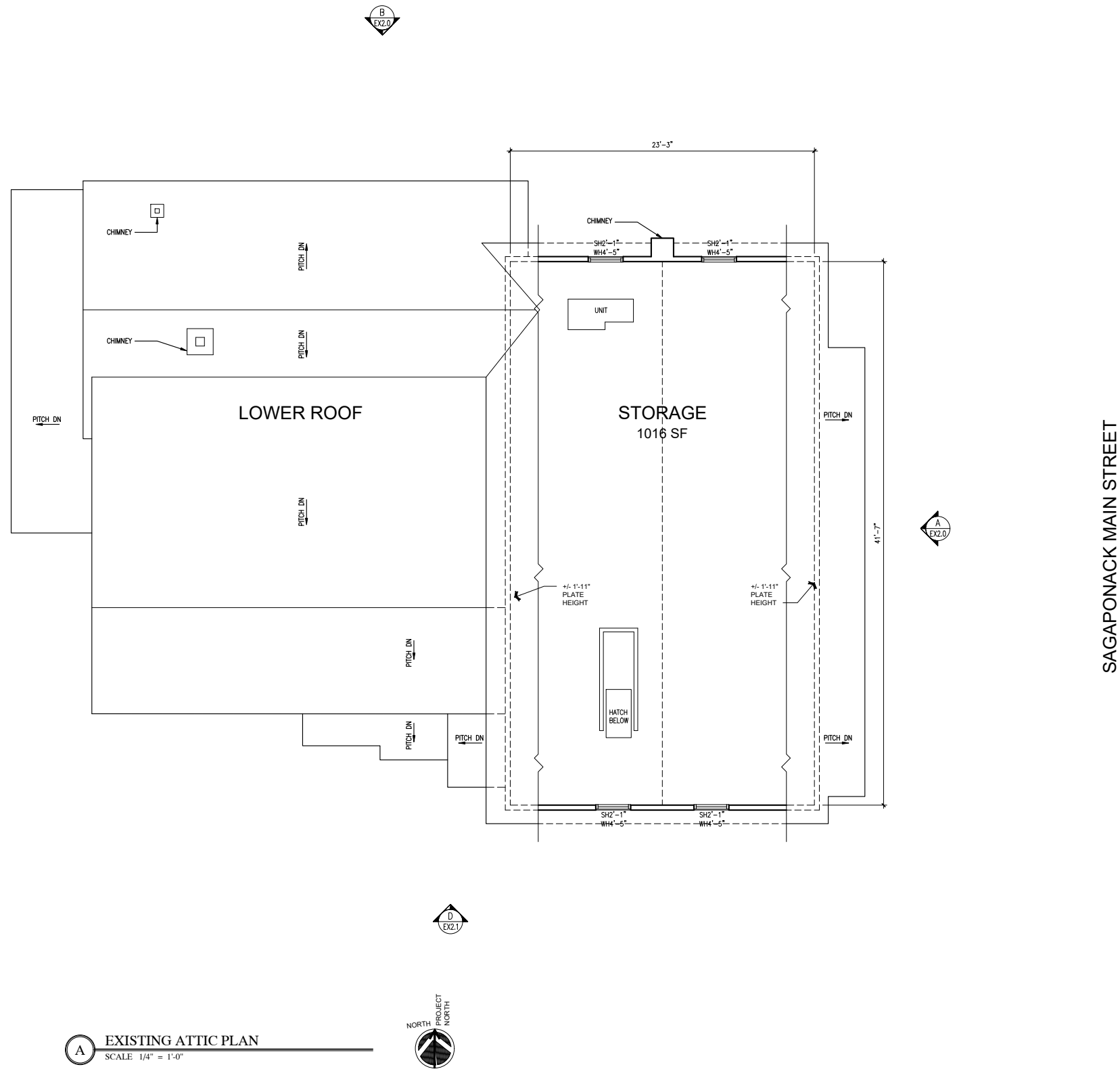


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[illegible]

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EX_{1.1}



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Title
EXISTING
ATTIC PLAN

Date 03/28/2022

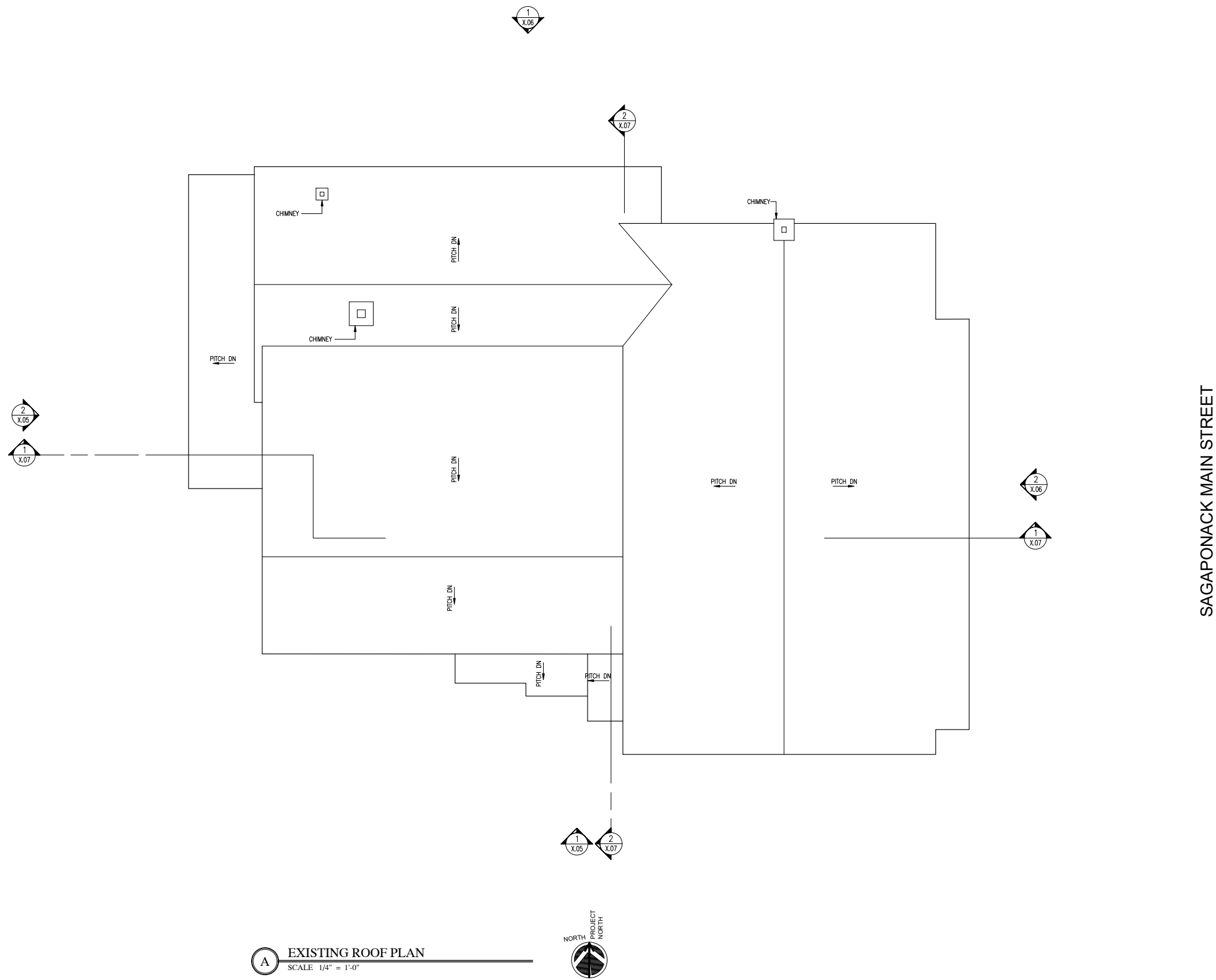
Scale AS NOTED

REVISIONS

No.	Date	Description

Dwg. No.

EX1.2



542 Sagg Main Street
Alterations
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Title

EXISTING
ROOF PLAN

Date 03/28/2022

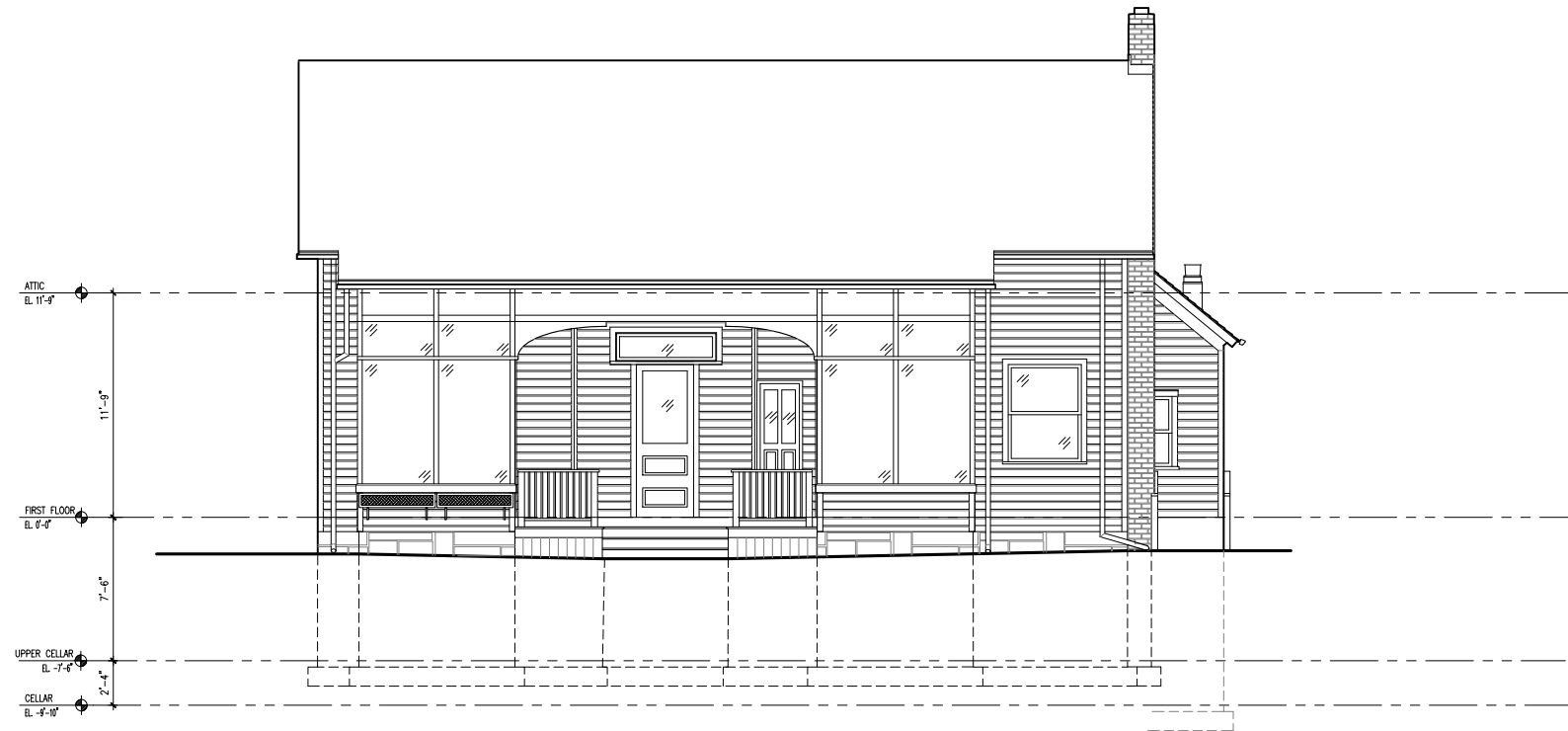
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REVISIONS

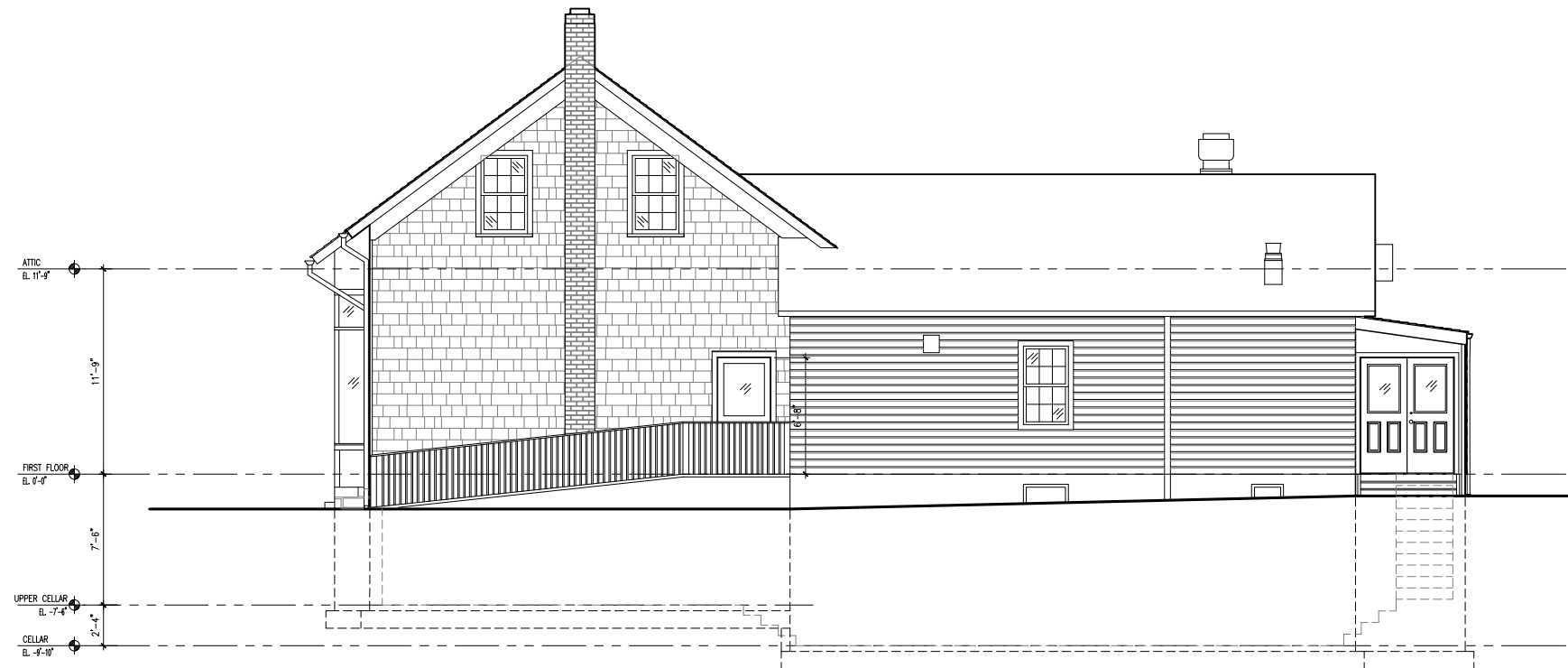
No.	Date	Description
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Dwg. No.

EX1.3



A EXISTING EXTERIOR ELEVATION - EAST
SCALE 1/4" = 1'-0"



B EXISTING EXTERIOR ELEVATION - NORTH
SCALE 1/4" = 1'-0"



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Title
EXISTING
EXTERIOR ELEV -
EAST & NORTH

Date 03/28/2022

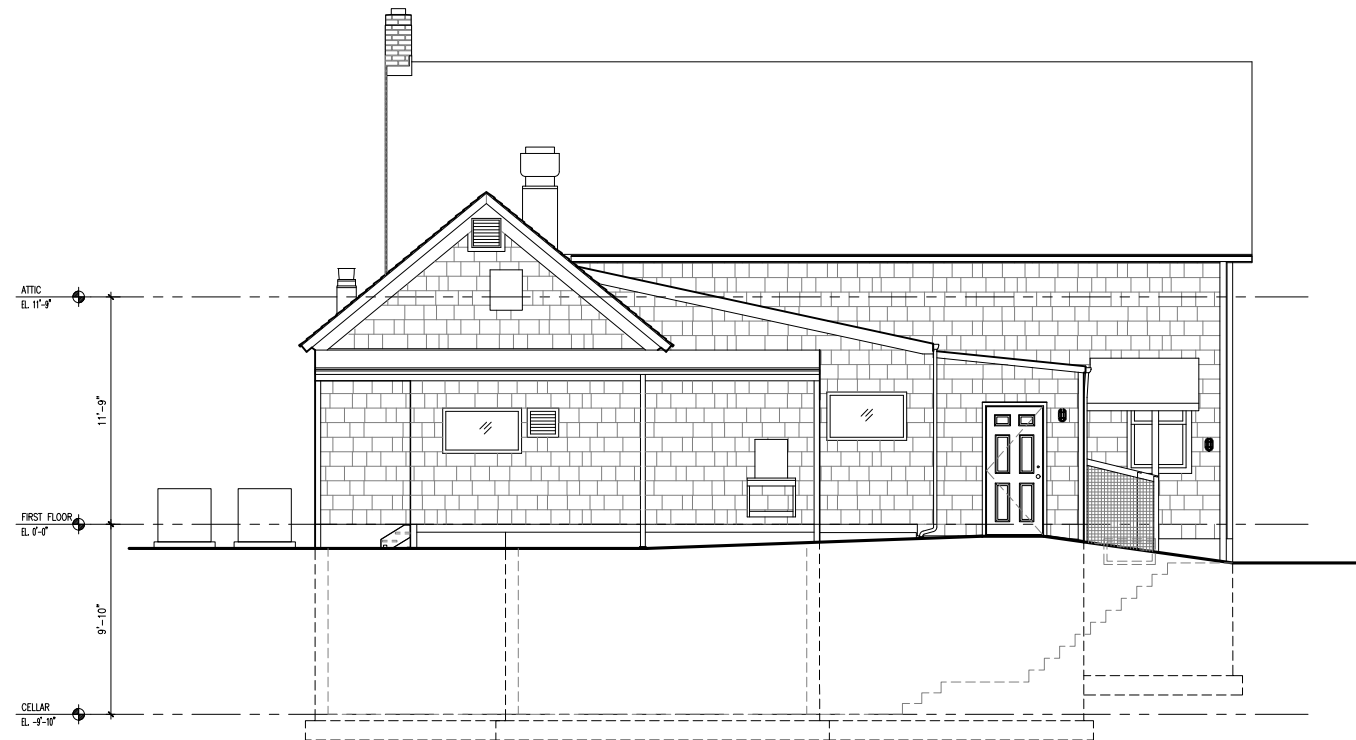
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REVISIONS

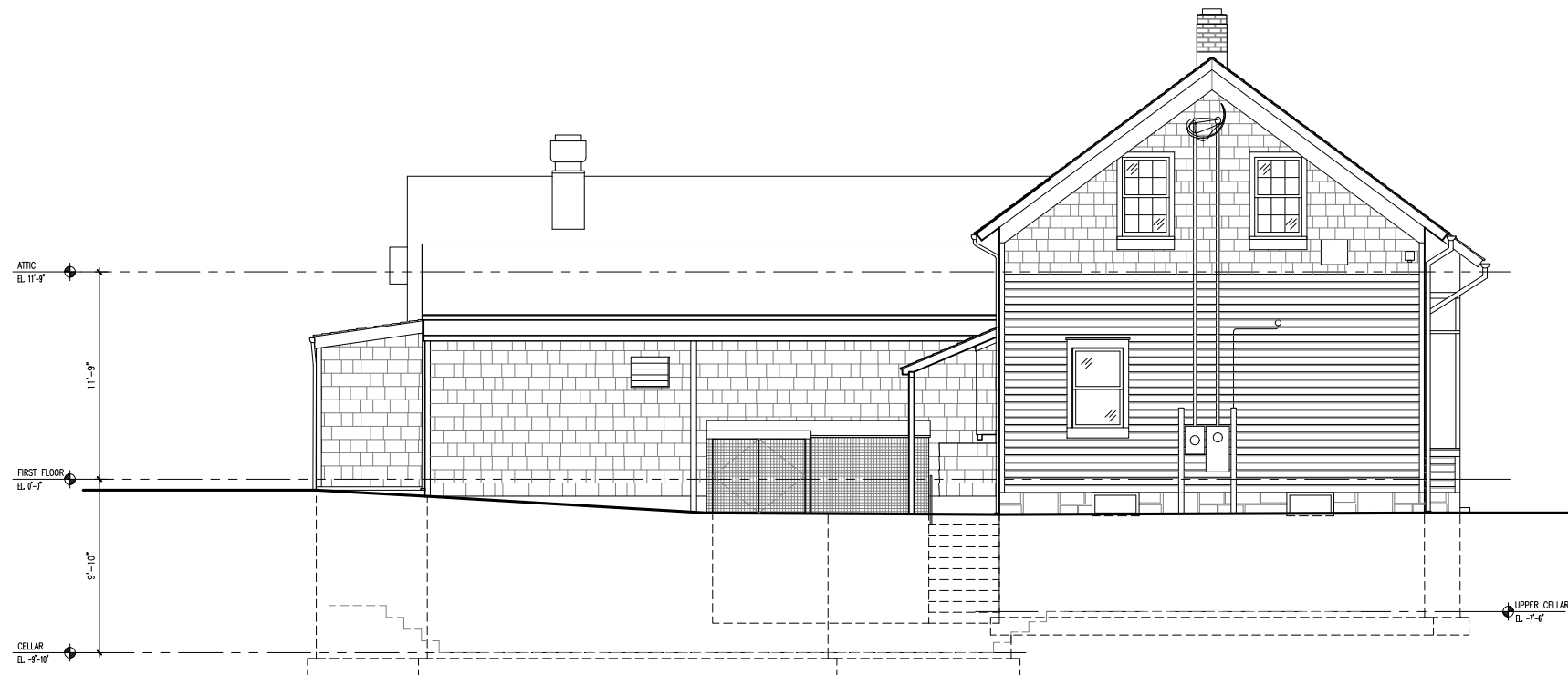
No.	Date	Description
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Dwg. No.

EX2.0



C EXISTING EXTERIOR ELEVATION - WEST
SCALE 1/4" = 1'-0"



D EXISTING EXTERIOR ELEVATION - SOUTH
SCALE 1/4" = 1'-0"



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Title

EXISTING
EXTERIOR ELEV -
SOUTH & WEST

Date 03/28/2022

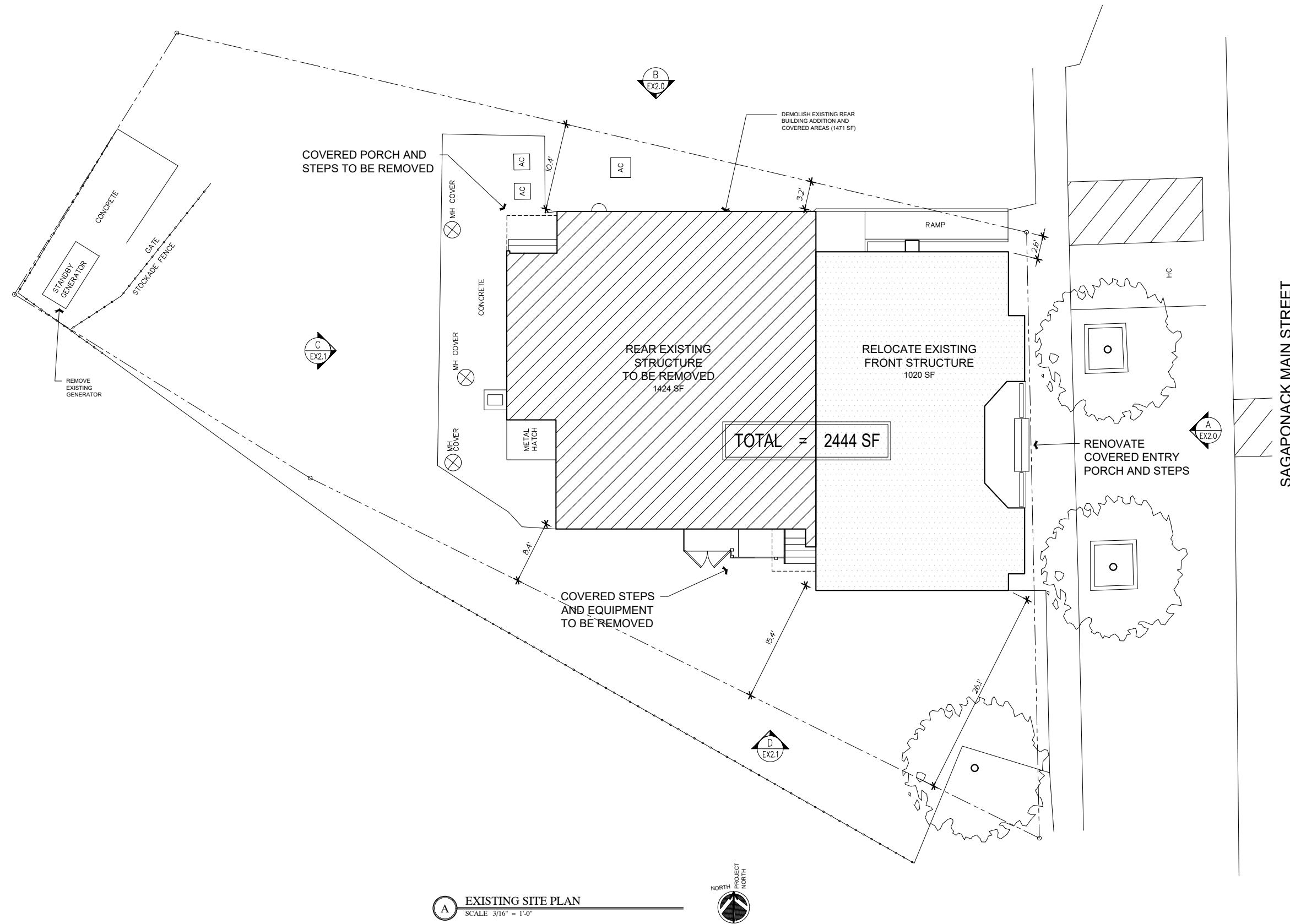
Scale AS NOTED

REVISIONS

No.	Date	Description

Dwg. No.

EX_{2.1}



A EXISTING SITE PLAN
SCALE 3/16" = 1'-0"

SAGAPONACK MAIN STREET



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Title
EXISTING SITE
PLAN

Date 03/28/2022

Scale AS NOTED

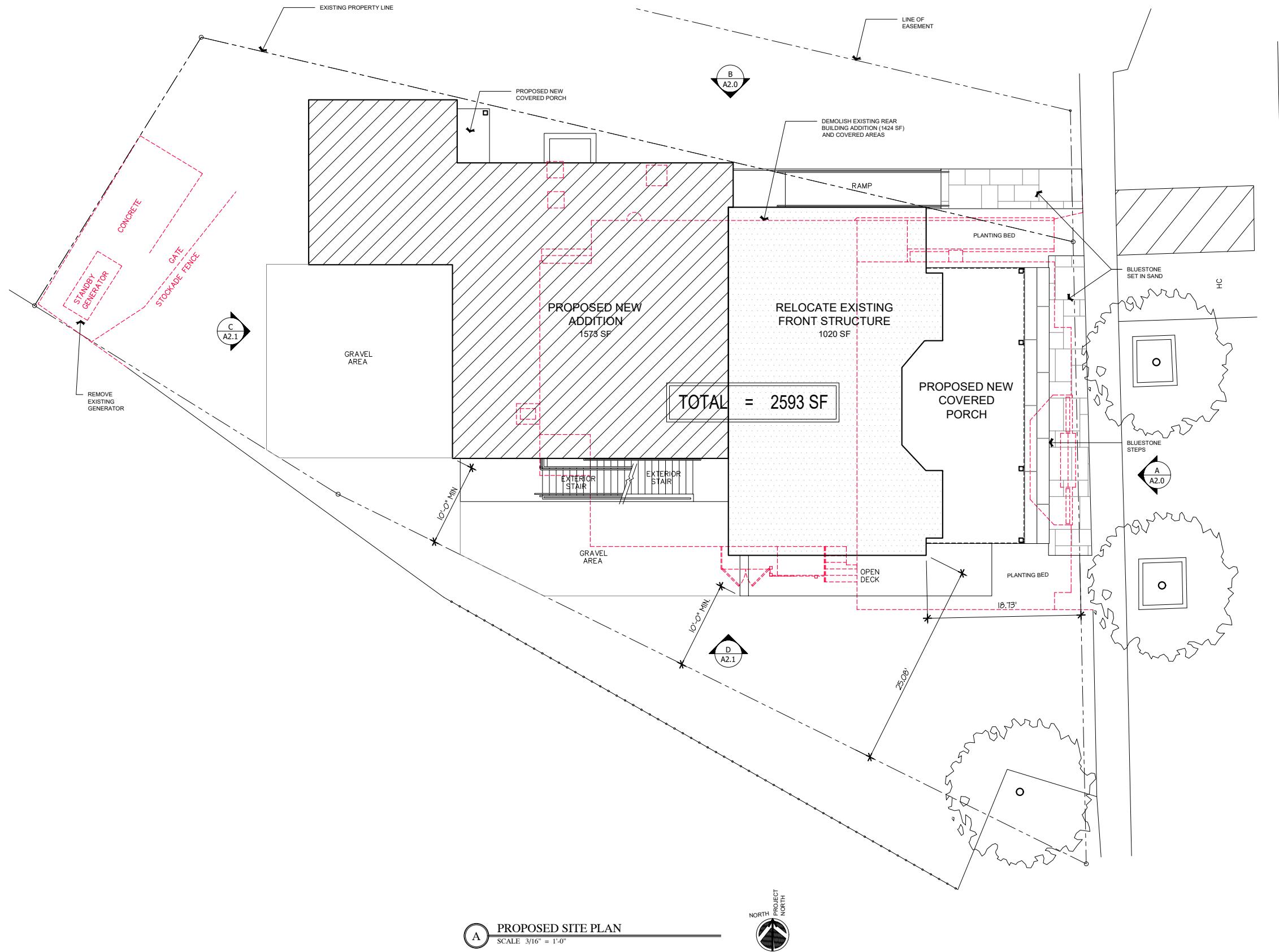
REVISIONS

No.	Date	Description
1	4-25-2022	Clarifications / Revisions

Dwg. No.

ES0.1

EXISTING SITE PLAN



PROPOSED SITE PLAN
SCALE 3/16" = 1'-0"



SAGAPONACK MAIN STREET



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Title
**PROPOSED SITE
PLAN**

Date 03/28/2022

Scale AS NOTED

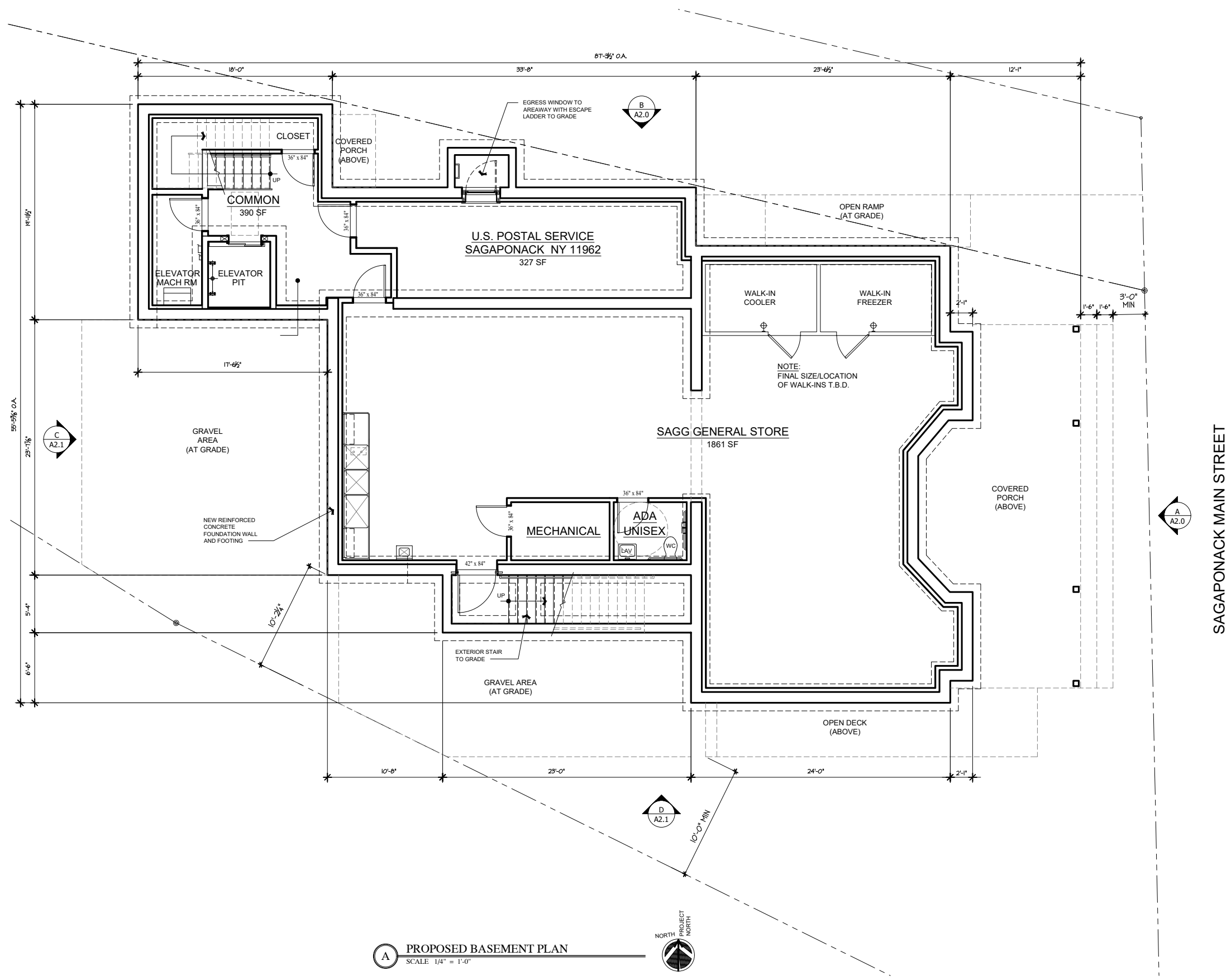
REVISIONS

No.	Date	Description
1	4-25-2022	Clarifications / Revisions

Dwg. No.

PS0.1

PROPOSED SITE PLAN



A PROPOSED BASEMENT PLAN
SCALE 1/4" = 1'-0"



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Title
**PROPOSED
BASEMENT
PLAN**

Date 03/28/2022

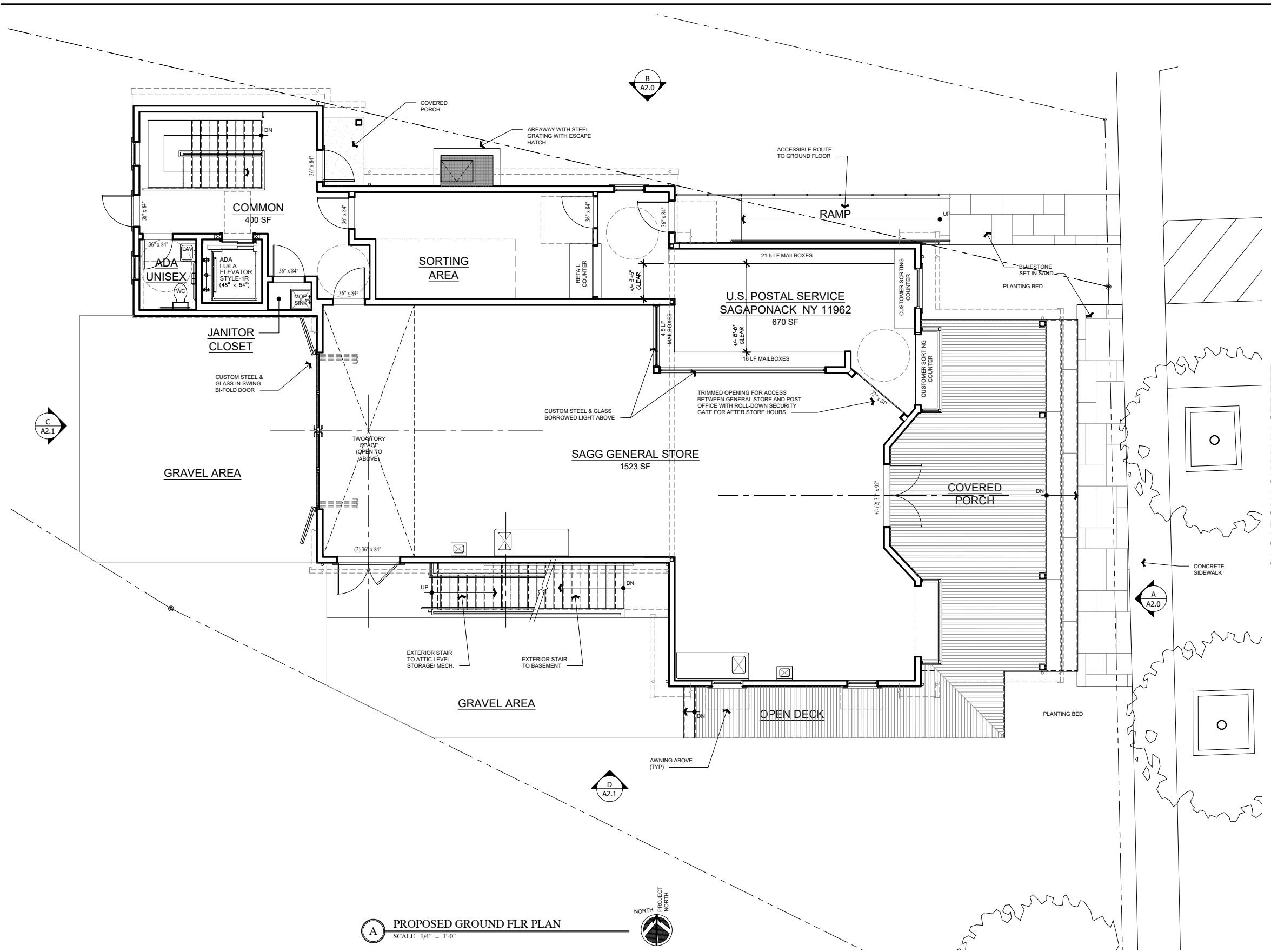
Scale AS NOTED

REVISIONS

No.	Date	Description
1	4-25-2022	Clarifications / Revisions

Dwg. No.

A1.0



SAGAPONACK MAIN STREET



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Title
PROPOSED
GROUND FLOOR
PLAN

Date 03/28/2022

Scale AS NOTED

REVISIONS

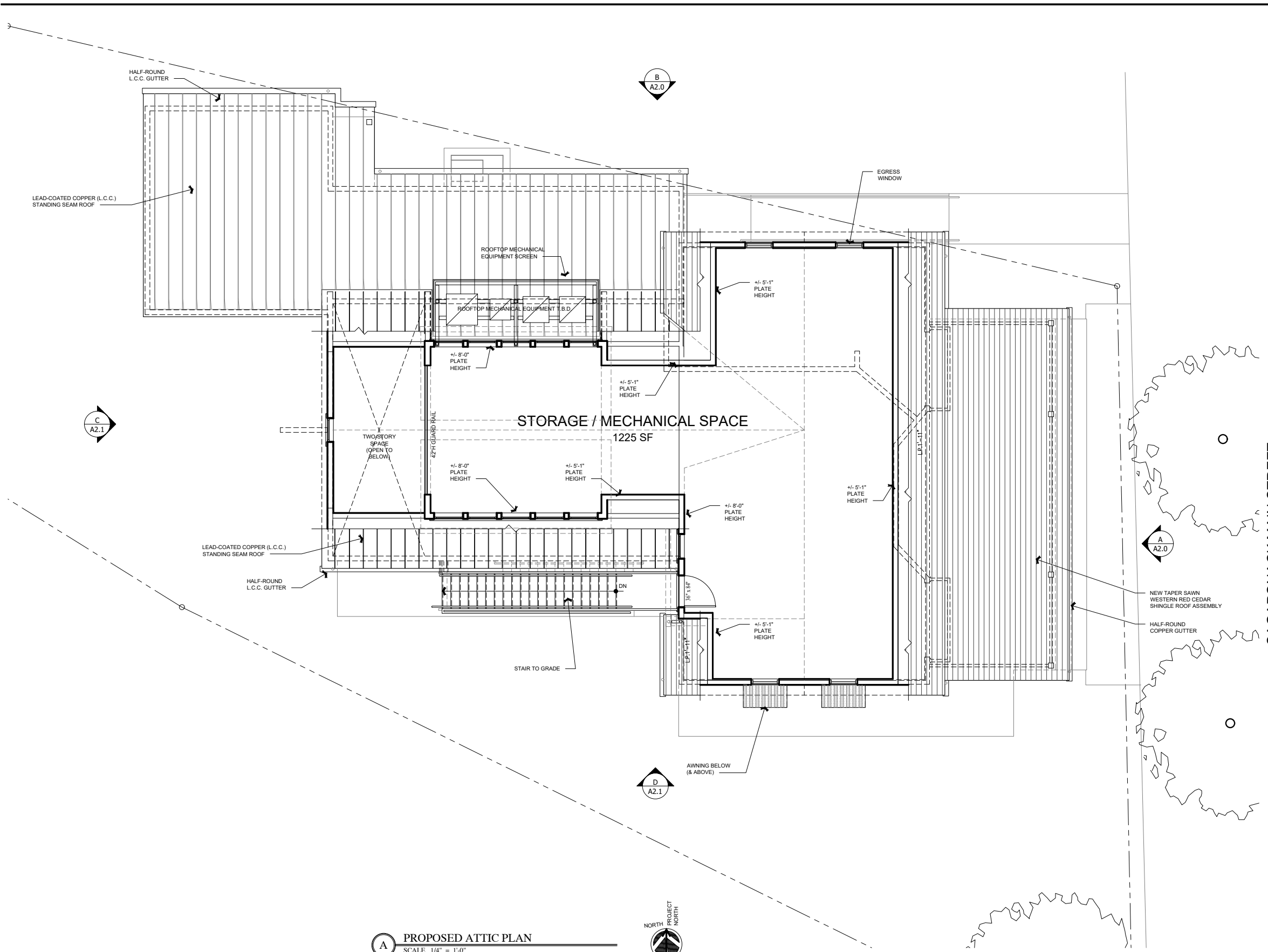
No.	Date	Description
1	4-25-2022	Clarifications / Revisions

Dwg. No.

A1.1

A PROPOSED GROUND FLR PLAN
SCALE 1/4" = 1'-0"





PROPOSED ATTIC PLAN
SCALE 1/4" = 1'-0"



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Sagaponack, New York 11962

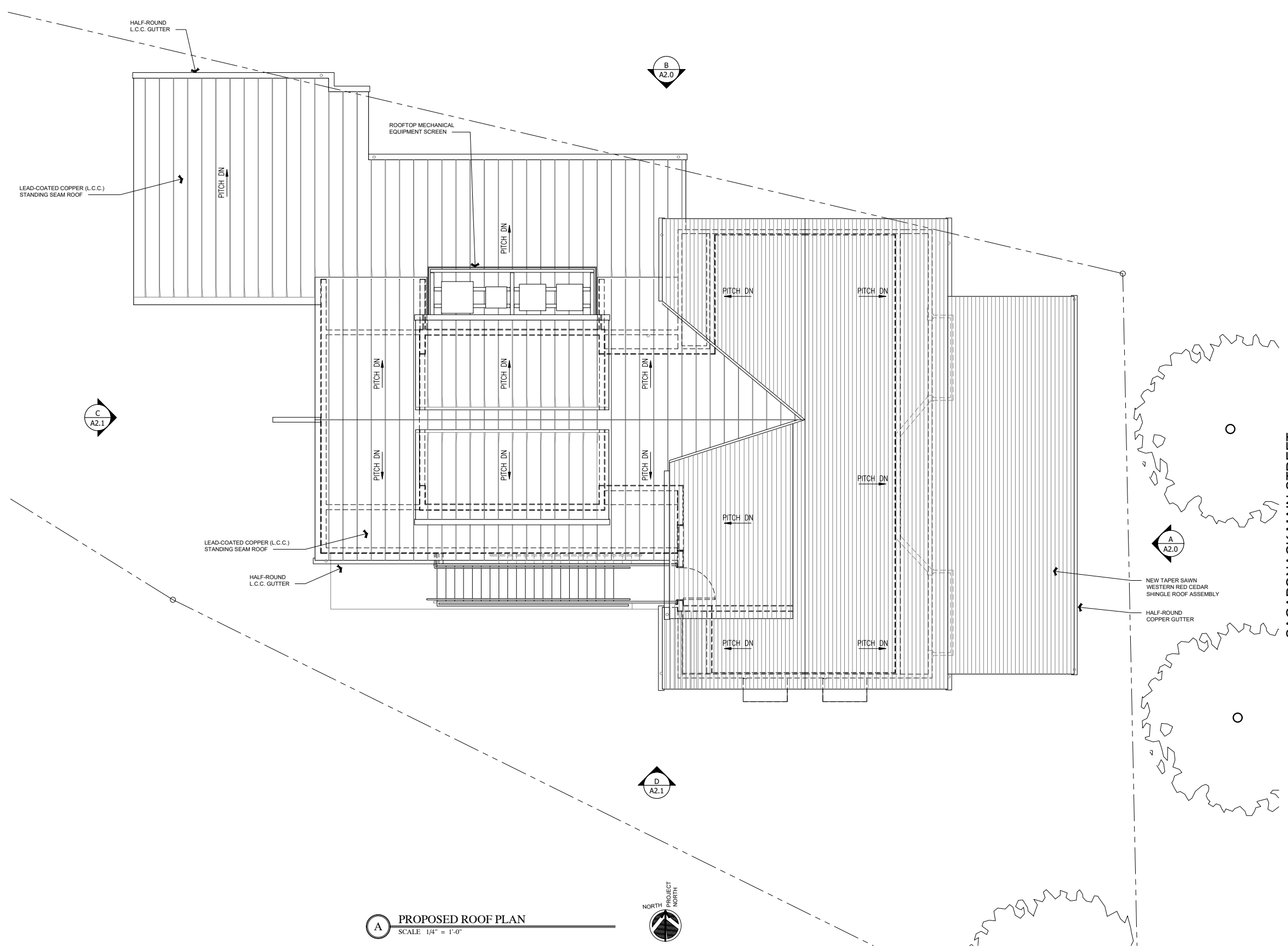
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**PROPOSED
ATTIC PLAN**

Date 03/28/2022		
Scale AS NOTED		
R E V I S I O N S		
No.	Date	Description
1	4-25-2022	Clarifications / Revisions

Dwg. No.

A1.2



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PROPOSED
ROOF PLAN

Date 03/28/2022

Scale AS NOTED

REVISIONS

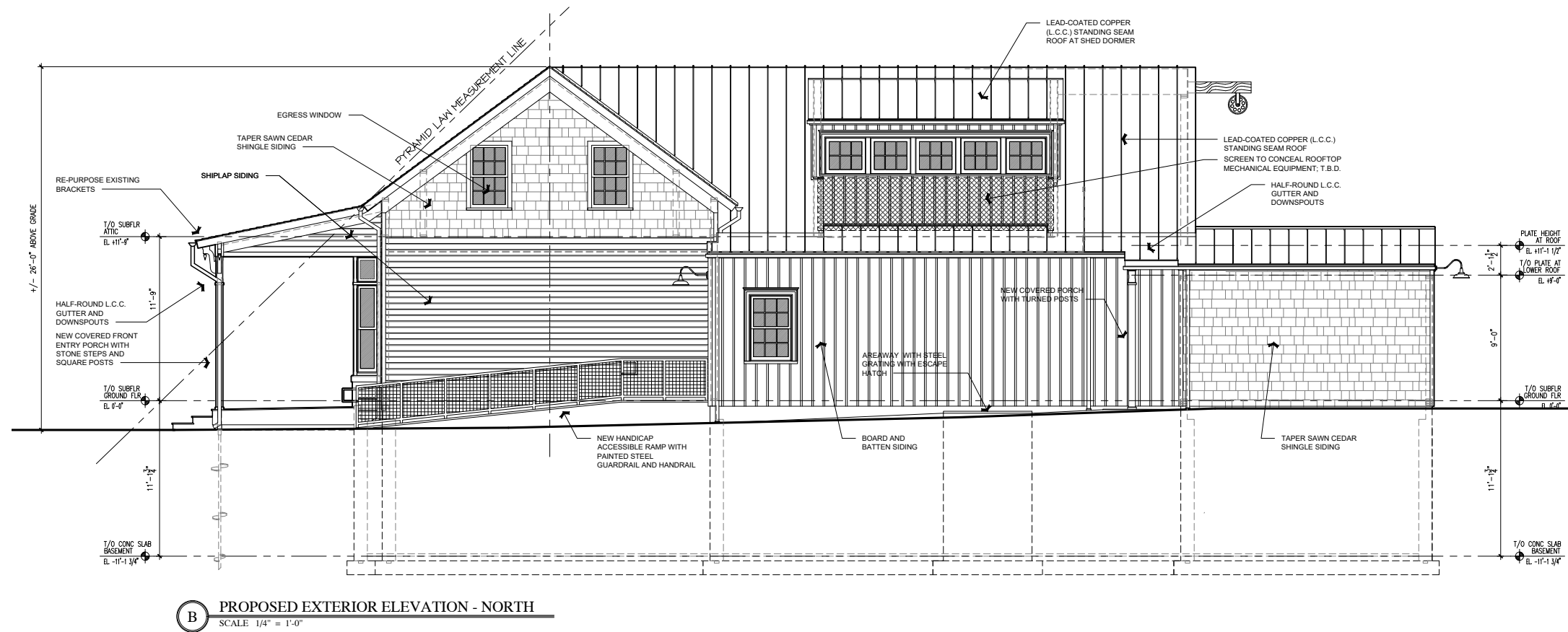
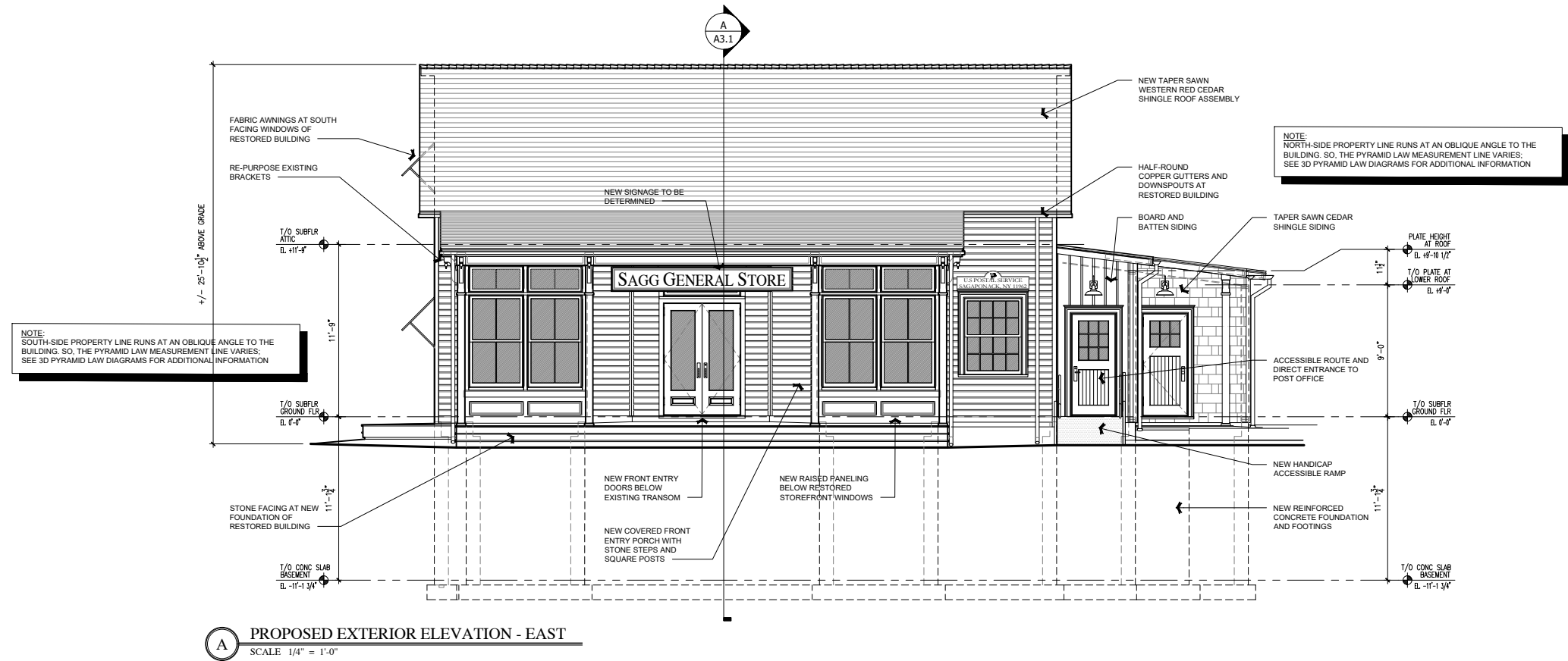
No.	Date	Description

Dwg. No.

A1.3

A PROPOSED ROOF PLAN
SCALE 1/4" = 1'-0"





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Title
PROPOSED
EXTERIOR ELEV -
EAST & NORTH

Date 03/28/2022

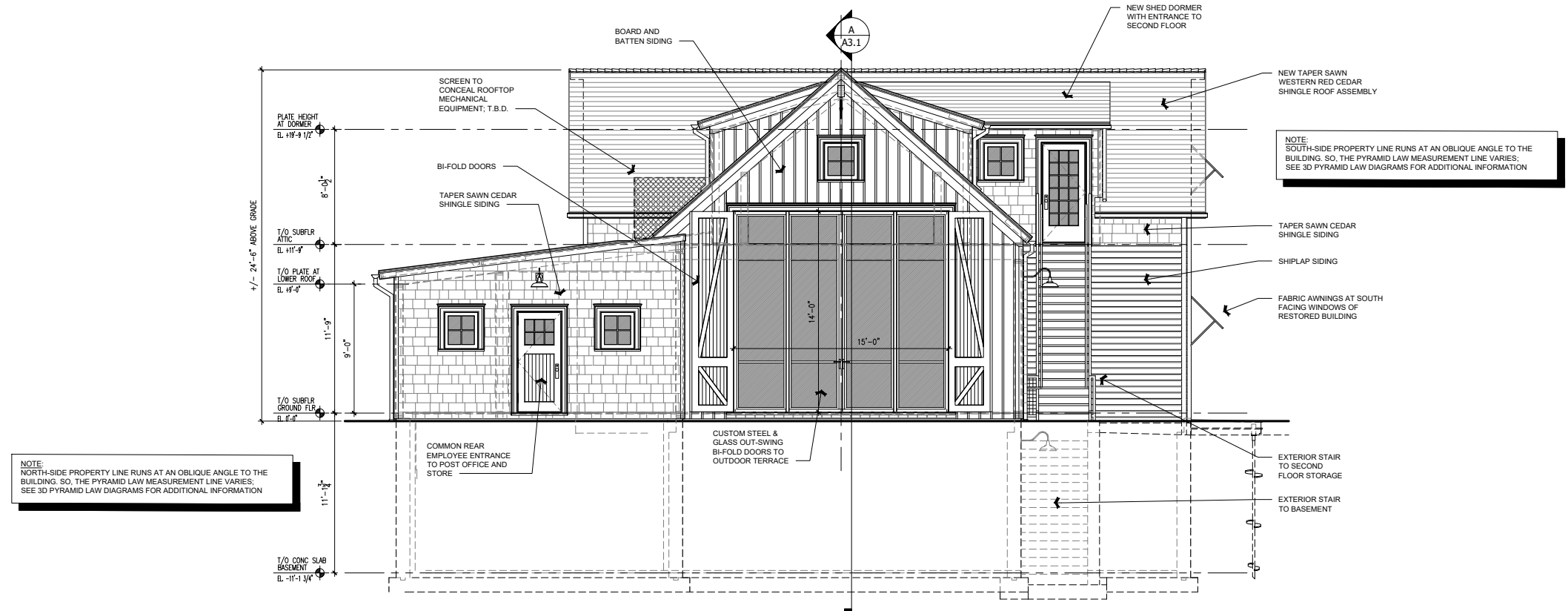
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REVISIONS

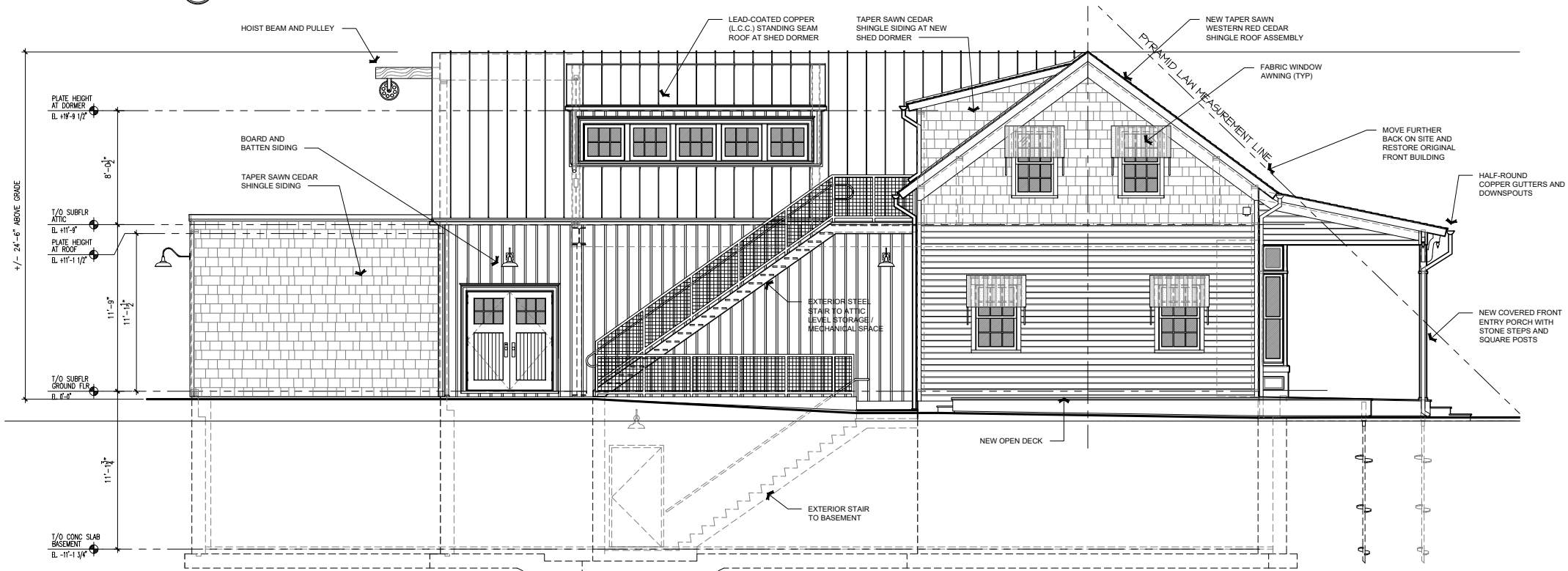
No.	Date	Description
1	4-25-2022	Clarifications / Revisions

Dwg. No.

A 2.0



C PROPOSED EXTERIOR ELEVATION - WEST
SCALE 1/4" = 1'-0"



D PROPOSED EXTERIOR ELEVATION - SOUTH
SCALE 1/4" = 1'-0"



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Title
**PROPOSED
EXTERIOR ELEV -
WEST & SOUTH**

Date 03/28/2022

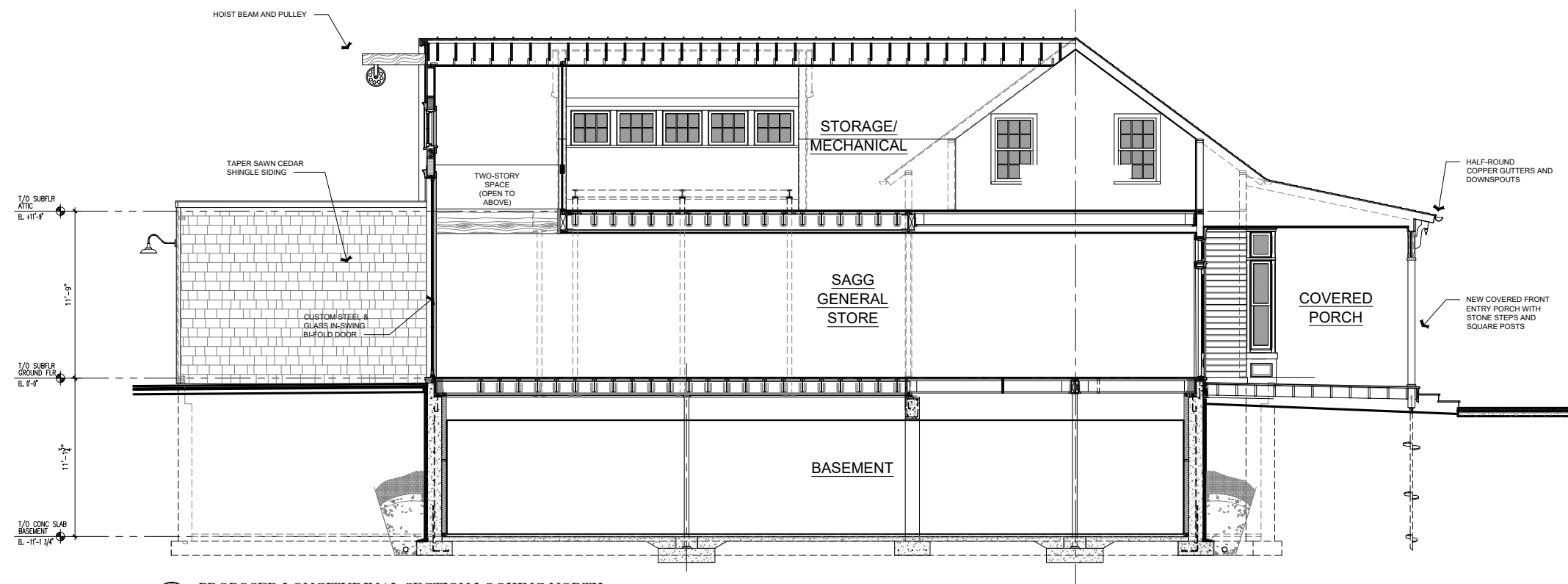
Scale AS NOTED

REVISIONS

No.	Date	Description
1	4-25-2022	Clarifications / Revisions

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A 2.1



A PROPOSED LONGITUDINAL SECTION LOOKING NORTH
SCALE 1/4" = 1'-0"



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Title

PROPOSED
LONGITUDINAL
SECTION

Date 03/28/2022

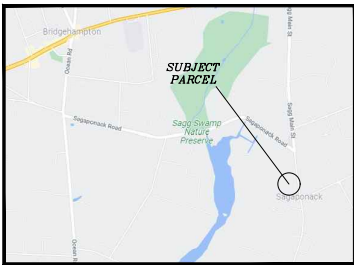
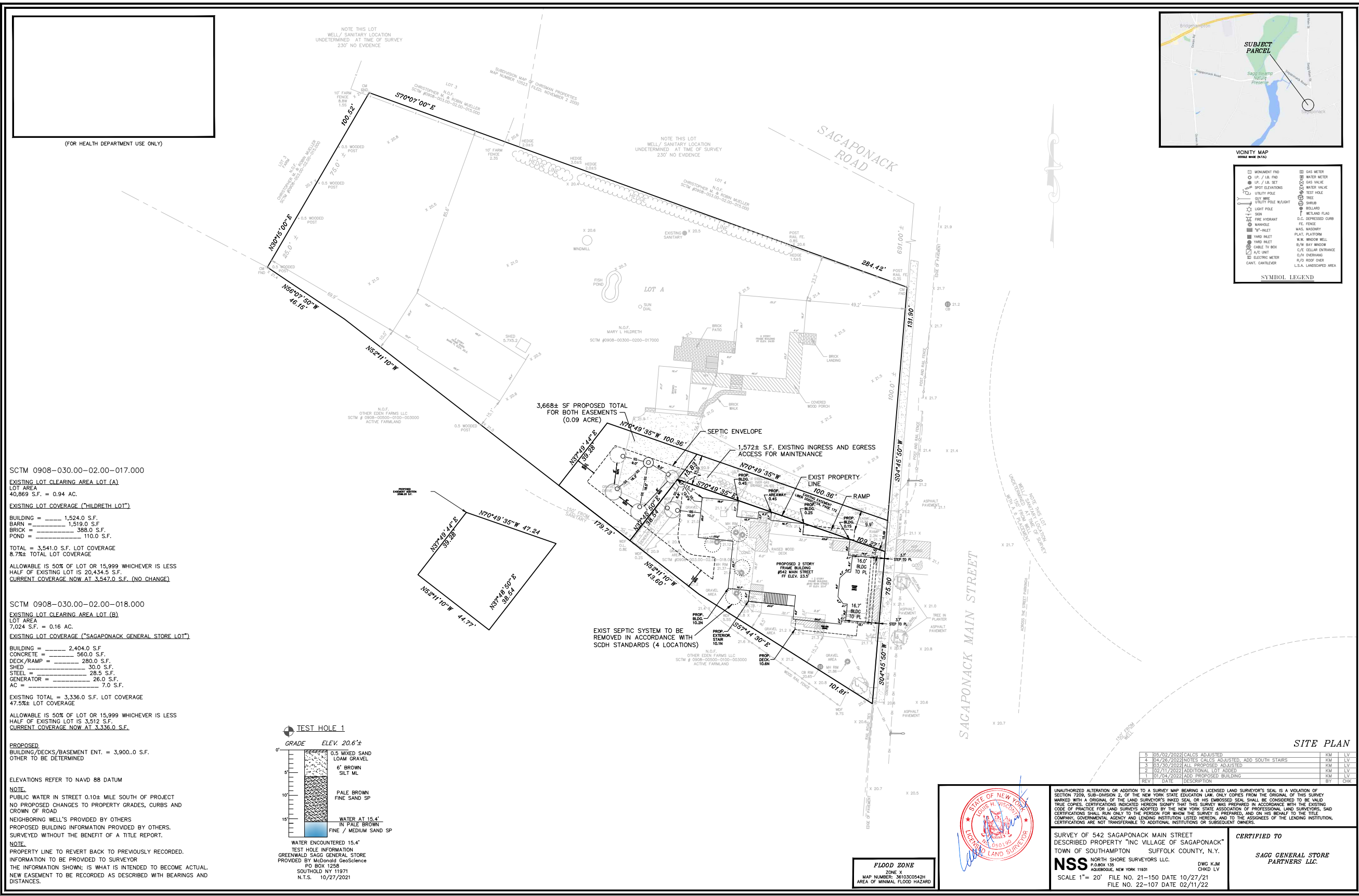
Scale AS NOTED

REVISIONS

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1	4-25-2022	Clarifications / Revisions

Dwg. No.

A 3.1



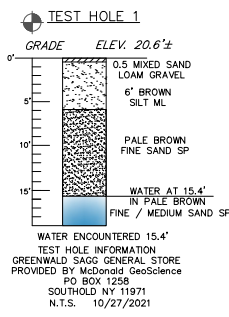
VICINITY MAP
SINGLE MAP (N.T.S.)

MONUMENT PND	GAS METER
1/4" / 1/8" PND	WATER METER
1/4" / 1/8" SET	GAS VALVE
SPOT ELEVATIONS	WATER VALVE
UTILITY POLE	TEST HOLE
CITY RISE	TREE
UTILITY POLE W/OUT	SHRUB
LIGHT POLE	BOLLARD
IRON	WELSH FLAG
FIRE HYDRANT	D.C. DEPOSED CURB
MANHOLE	FE FENCE
W/OUT	MAS. MANSION
YARD INLET	PLAT. PLATFORM
CABLE TV BOX	W/W WINDOW WELL
A/C UNIT	B/W BAY WINDOW
ELECTRIC METER	C/E CELLAR ENTRANCE
CANT. CANTILEVER	O/R OVERHANG
	R/O ROOF OVER
	L.S.A. LANDSCAPED AREA

SYMBOL LEGEND

SCTM 0908-030.00-02.00-017.000
EXISTING LOT CLEARING AREA LOT (A)
LOT AREA
40,869 S.F. = 0.94 AC.
EXISTING LOT COVERAGE ("HILDRETH LOT")
BUILDING = 1,524.0 S.F.
BARN = 1,519.0 S.F.
BRICK = 388.0 S.F.
POND = 110.0 S.F.
TOTAL = 3,541.0 S.F. LOT COVERAGE
8.7%± TOTAL LOT COVERAGE
ALLOWABLE IS 50% OF LOT OR 15,999 WHICHEVER IS LESS
HALF OF EXISTING LOT IS 20,434.5 S.F.
CURRENT COVERAGE NOW AT 3,547.0 S.F. (NO CHANGE)

SCTM 0908-030.00-02.00-018.000
EXISTING LOT CLEARING AREA LOT (B)
LOT AREA
7,024 S.F. = 0.16 AC.
EXISTING LOT COVERAGE ("SAGAPONACK GENERAL STORE LOT")
BUILDING = 2,404.0 S.F.
CONCRETE = 560.0 S.F.
DECK/RAMP = 280.0 S.F.
SHED = 30.0 S.F.
STEEL = 28.5 S.F.
GENERATOR = 26.0 S.F.
AC = 7.0 S.F.
EXISTING TOTAL = 3,336.0 S.F. LOT COVERAGE
47.5%± TOTAL LOT COVERAGE
ALLOWABLE IS 50% OF LOT OR 15,999 WHICHEVER IS LESS
HALF OF EXISTING LOT IS 3,512 S.F.
CURRENT COVERAGE NOW AT 3,336.0 S.F.



SITE PLAN

5	05/02/2022	CALCS ADJUSTED	KM	LV
4	04/26/2022	NOTES CALCS ADJUSTED, ADD SOUTH STAIRS	KM	LV
3	03/30/2022	ALL PROPOSED ADJUSTED	KM	LV
2	02/11/2022	ADDITIONAL LOT ADDED	KM	LV
1	01/04/2022	ADD PROPOSED BUILDING	KM	LV
REV	DATE	DESCRIPTION	BY	CHK



FLOOD ZONE
ZONE X
MAP NUMBER: 301030042H
AREA OF MINIMAL FLOOD HAZARD

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7208, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SURVEY OF 542 SAGAPONACK MAIN STREET
DESCRIBED PROPERTY "INC VILLAGE OF SAGAPONACK"
TOWN OF SOUTHAMPTON SUFFOLK COUNTY, N.Y.
NORTH SHORE SURVEYORS LLC.
P.O. BOX 135
AQUERQUE, NEW YORK 11931
DWG: KJM
CHKD: LV

SCALE 1" = 20' FILE NO. 21-150 DATE 10/27/21
FILE NO. 22-107 DATE 02/11/22

CERTIFIED TO
SAGG GENERAL STORE
PARTNERS LLC.

8751 CU FT

8748.85 cu.ft

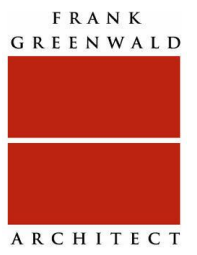
2.11 cu.ft

EXISTING

542 SAGG MAIN STREET
SAGAPONACK, NEW YORK 11962

DATE: 12/16/2021

PYRAMID LAW DIAGRAMS
EXISTING CONDITIONS



FRANK GREENWALD ARCHITECT PLLC
295 MAIN STREET SAG HARBOR, NY 11963



EXISTING

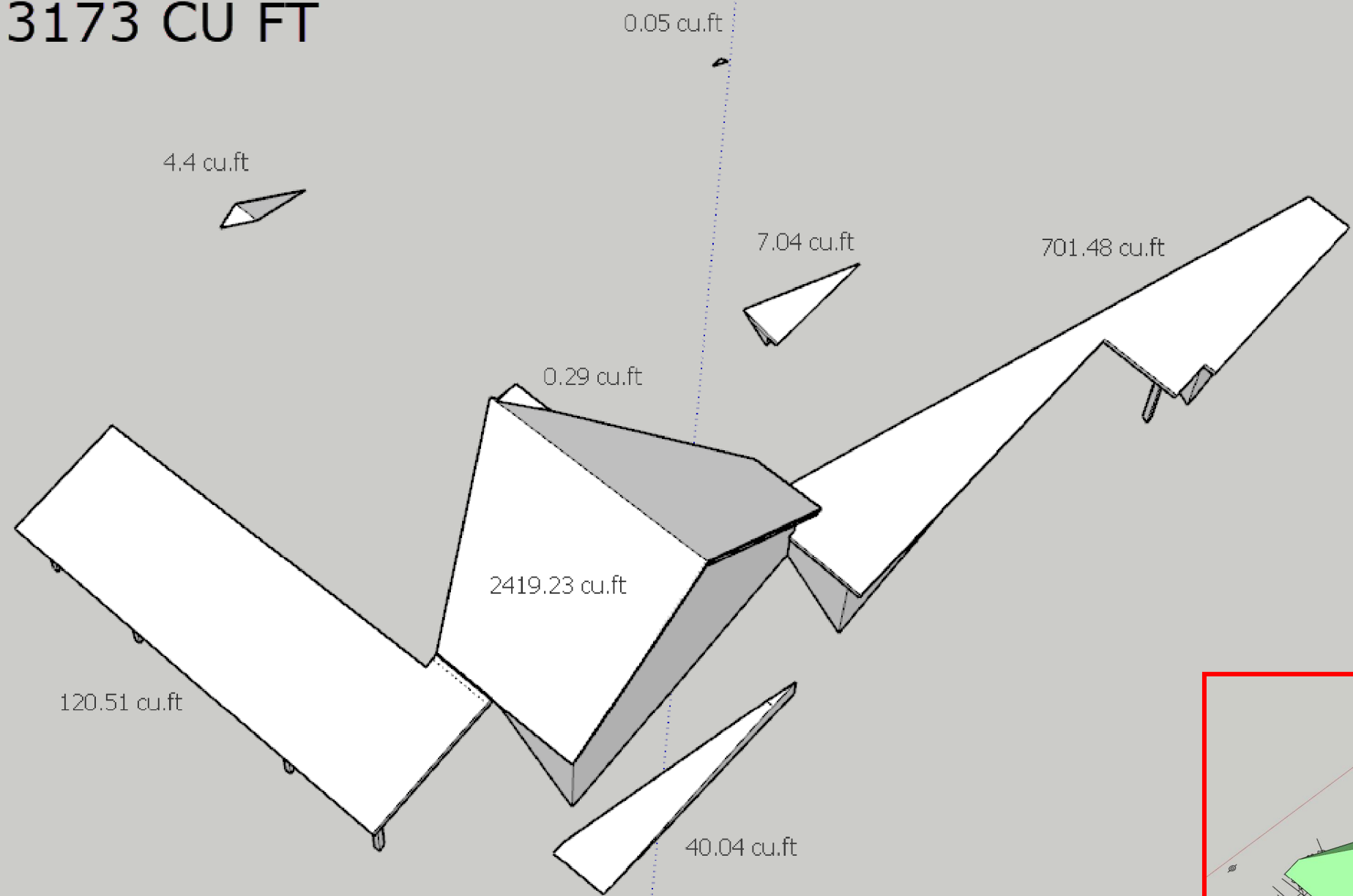
PYRAMID INTRUSION VOLUME CALCULATIONS DIAGRAM

NO SCALE

NOTE: The Existing Building violates the Pyramid Law with a total of 8751 CU FT.

PYRAMID SHOWN IN GREEN AND PORTIONS OF THE EXISTING BUILDING IN VIOLATION OF THE PYRAMID LAW SHOWN IN RED.

3173 CU FT



PROPOSED

542 SAGG MAIN STREET
SAGAPONACK, NEW YORK 11962

DATE: 4/13/2022

PYRAMID LAW DIAGRAMS
PROPOSED CONDITIONS



FRANK
GREENWALD
ARCHITECT

FRANK GREENWALD ARCHITECT PLLC
295 MAIN STREET SAG HARBOR, NY 11963



PYRAMID INTRUSION VOLUME CALCULATIONS DIAGRAM

NO SCALE

NOTE: The Proposed Building violates the Pyramid Law with a total of 3173 CU FT.

PYRAMID SHOWN IN GREEN AND PORTIONS OF THE PROPOSED BUILDING IN VIOLATION OF THE PYRAMID LAW SHOWN IN RED.